

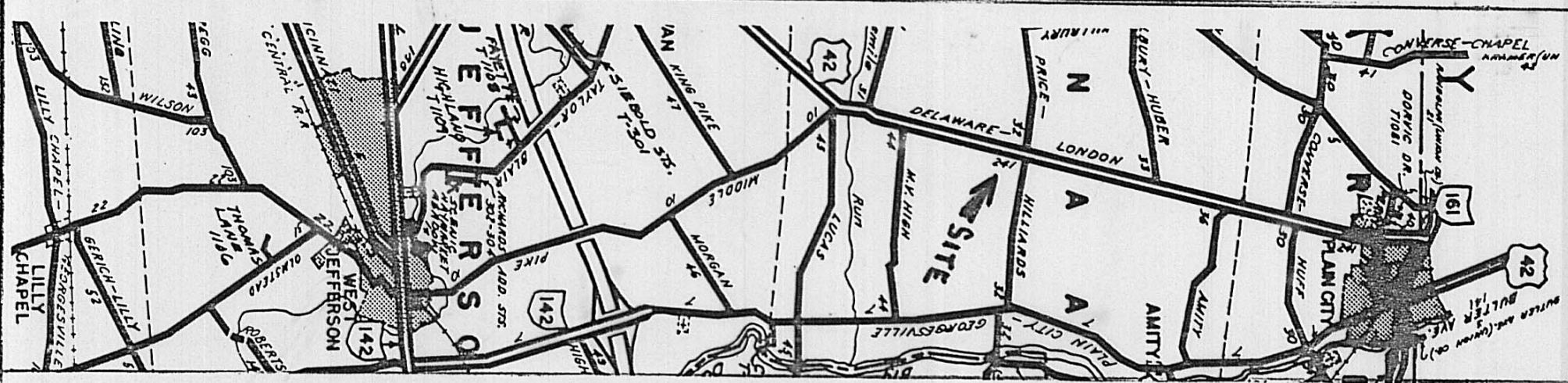
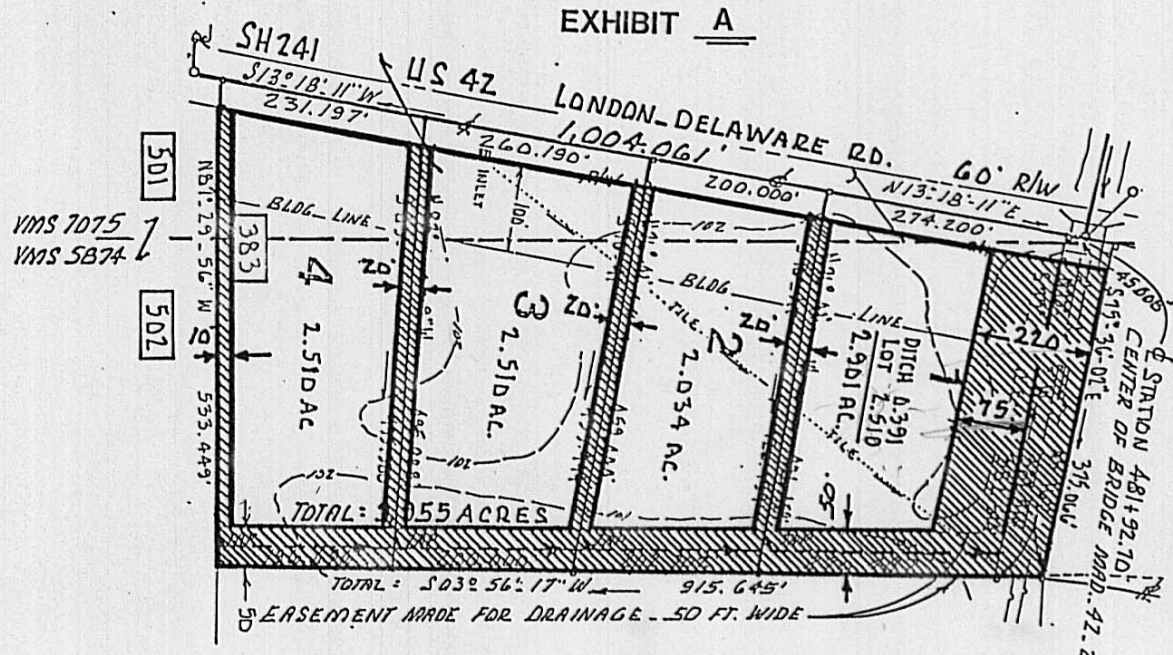


EXHIBIT A



The hatched areas are to be used for utilities and for drainage wherein there is to be a 50 feet wide drainage easement extending across the rear of every parcel with a 10 feet wide strip assigned as easement along each lot line on each parcel as depicted hereon.

Additionally there shall be a 75 feet wide protective easement extending southerly from the top of bank for Yutzy Ditch maintenance on behalf of the Madison County Engineer, the total easement width being 220 feet southerly from the northerly boundary line of Lot 1.

The delineated existing tile crossing Lots 3, 2 and Lot 1 is to be relocated by running a connecting tile along the boundary between Lot 2 and Lot 3, connecting into the main tile service near the rear of the 4 Lots (into the 50 feet wide easement limits).

The 100 feet depth building set back limit is in accordance with the Madison County zoning set back requirements, although such set back may be extended farther away from U.S. 42 highway if so stated in each individual deed which transfers title to each Lot.

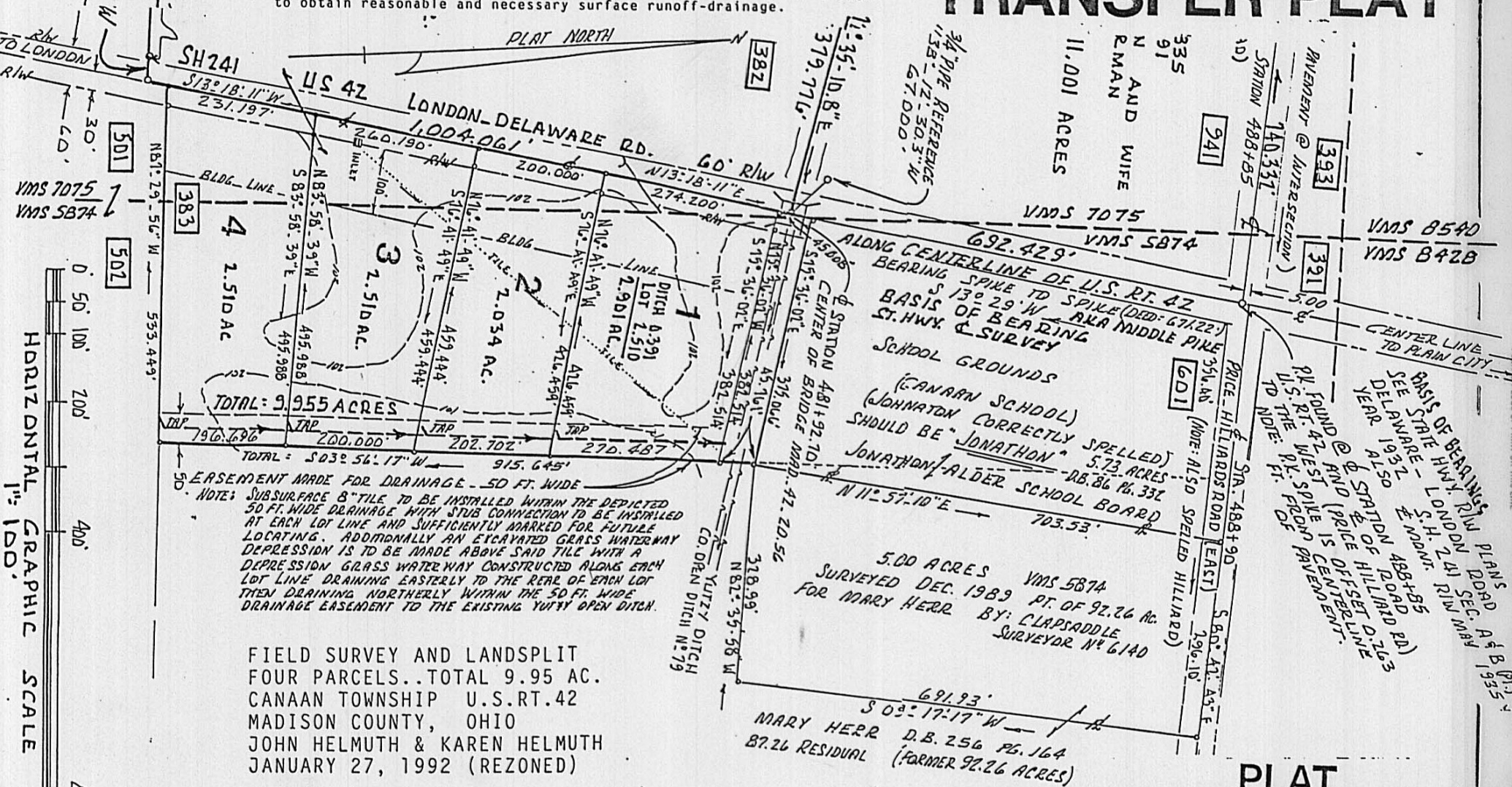
In addition to each underground tile lateral and along the rear main tile, there is to be a surface swale excavated along the rear main tile and along each of the interior lot lines sufficiently far enough to obtain reasonable and necessary surface runoff-drainage.

"In accordance with Ohio Revised Code Chapters 6131 and 6137, the Yutzy County Ditch No. 79 has been established as a public watercourse. All lands within the watershed are subject to an annual maintenance assessment for mowing, repair, cleanout or other work necessary to maintain the existing open ditch and provide an outlet for the surface and subsurface drainage in the watershed. In accordance with Ohio Revised Code Section 6137.12, a permanent easement area of 75 feet from the top of each bank shall be designated and reserved for ditch maintenance purposes. Further, a 10 foot strip of land along the top of each bank shall be permanently maintained as a grass strip for annual maintenance access and erosion protection for the open ditch. Access along the ditch shall not be blocked by fencing, buildings or other physical obstructions. If livestock is maintained on tracts adjacent to the Yutzy Ditch, fencing shall be placed to prohibit livestock from entering the ditch and still allow maintenance access. Any proposed improvements along and adjacent to the Yutzy Ditch shall have prior approval of the Madison County Engineer.

The plat of the affected lot is on file in the Madison County Engineer's Office."



TRANSFER PLAT



FIELD SURVEY AND LANDSPLIT
FOUR PARCELS..TOTAL 9.95 AC.
CANAAN TOWNSHIP U.S.RT.42
MADISON COUNTY, OHIO
JOHN HELMUTH & KAREN HELMUTH
JANUARY 27, 1992 (REZONED)

I certify that I have personally made a field survey of the premises depicted hereon and that corners are marked as delineated.

Rodger Irwin Baker
MARCH 10th 1992

Rodegr Irwin Baker Ohio PS # S-05539

FIELD SURVEY

PLAT PROPERTY MAP

- LEGEND SYMBOLS PLAT DATA
- MINE SPIKES AND PK. SPIKES SET IN ROAD PAVEMENT
 - 3/4" PIPE SET & CAPPED STAMPED R.I. BAKER S-5539
 - AT OFF THE ROAD CORNERS
 - R.R. = RAILROAD R/W = RIGHT OF WAY R = PROPERTY LINE
 - CENTERLINE
 - EXISTING FENCE
 - OWNERSHIP LAND HOOK
 - SHORTENED LINE TO FIT ON PLAT
 - PARCEL OR TRACT LINE AND/OR SECTION LINE
 - FOUND STEEL PIN AT RD. & AND SECTION CORNER